

WATER LAKE FARM

ARCHITECTURAL DESIGN MANUAL

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A. INTRODUCTION

The intention is to develop a unique architectural character that will consist of a cohesive theme with five different architectural styles. To this end the combination of the idea of a farm style architecture with the use of natural building materials will be encouraged. Although the five different nostalgic architectural styles are specifically prescribed to accommodate each owner's individuality, designs that include the elements of the "nostalgic" styles in a contemporary fashion will be considered by the Aesthetic Design Committee.

These guidelines are supplementary to the National Building Regulations and requirements of the local authority.

B. PURPOSE OF THE GUIDELINES

The main purpose of these guidelines is:

- To establish and define the Architectural Guidelines.
- To formulate the architectural character of the development.
- To set the standard for the development and all buildings to be constructed in the development.
- To define the Town Planning Development Controls

C. TOWN PLANNING DEVELOPMENT CONTROLS.

1. Zoning

One dwelling per erf - NBR SABS 0400 allow for an additional 50 m² flatlet.

2. Coverage

Coverage refers to the footprint of the building. Pergolas are excluded. Verandahs, garages and outbuildings are included. The maximum coverage will be 40% as per Peri-Urban Town Planning Scheme. The minimum floor space to be built (inclusive of Verandah's, Garages and outbuildings) is 300 square metres. However, an additional 10% of 40% would be allowed by the local authority of Tshwane, at an additional fee, for non-livable areas of aesthetic significance.

3. Height restriction

3.1 Two storeys.

3.2 The minimum floor (FFL) to ceiling height is 2 805mm.

3.3 No portion of the built structure will be higher than 9,8m above the point on the natural surface of the ground, vertically below it. Chimneys are exempt from this.

3.4 Buildings could be stepped/ terraced over the site or could sit on top of a plinth that will vary in height over the site.

4. Building lines.

a. SIDE BUILDING LINES

No structures shall be erected within a distance of 2m (two meters) from the boundary between one stand and another. No building line relaxation will be given even if the owner of the adjacent stand may not object to it. However, the southern boundary between two stands should be 3m (three meters) as prescribed by the local authority of Tshwane.

b. BACK BUILDING LINES (opposite side of street)
2m (two meters).

c. STREET BUILDING LINES

5m (five meters for dwellings but 2,0m (two meters) for gazebo's and pool houses that are not attached to the main house).

5. Floor Space Ratio.

The floor space ratio is as per Peri-Urban Town Planning Scheme and limited to 0,75 – i.e. 750 square metres.

D. DESIGN GUIDELINES.

1. STYLE

There are five different specific prescribed, recommended architectural styles.

All over South Africa there are wonderful examples of “colonial domestic architecture”. Some have a simple dignity and others have grand style opulence.

The proposed development will strive to create the character of a era that has long since passed but still retains the romanticism and serenity of that time that will never again be.

The houses ought to be not merely substantial and comfortable, they ought to exhibit a reasonable amount of intellectual liberality, faithfully keeping on the side of simplicity and moderation, and clinging to the grace of elegance as the beauty which shall last the longest (externally by force of graceful proportion and by harmonious colour treatment).

NOTE:

Most of the descriptions of the styles come from the book “Colonial Houses of South Africa“ written by Alain Proust.

A. WESTMINSTER

Style can be described as similar to Sir Herbert Baker's Edwardian Freestyle with a mix of Elizabethan English and Dutch elements. The gables represent some that can be found on the Flemish countryside with tiled roofs forming low eaves. The colonnaded "stoep" gives protection from the sun. Single or double storey permitted.



MATERIALS

a. WALLS:

- Sandstone
- Plastered and painted brickwork in combination with sandstone.
- Bagged with colored cement based paint in combination with sandstone
- Pigmented plaster in earthy colors in combination with sandstone.
- Stone – natural sandstone and rough textured artificial cladding may be used.
- At least one Sandstone gable must be provided.

b. ROOFS:

- Clay roof tiles. (Corobrik - Briti or similar)
- Roofs must have a minimum pitch of 37 degrees for the main roof - the "stoep" roofs must be concrete or must have a minimum roof pitch of 18 degrees.
- Concrete roof tiles limited to deep profile tiles.
- Pre-painted or powder coated "S-rib" corrugated sheet metal roofing material. If the sheet metal roof covering is chosen, the minimum pitch for the "stoep" roof will be 5 degrees.

- Colour may only be in tones of red and orange for roof tiles (to be uniformed in colour and no different shadings allowed). Colour for corrugated sheeting could also be certain tones of green and white, to suite the "*white old Karoo corrugated iron style architecture*".
- Final samples of colour tones to be submitted to the Aesthetics Committee for approval.

c. WINDOWS AND DOORS

- Wooden sash - vertical proportions
- Wooden mock-sash - vertical proportions
- Must suit the style of the house. External burglar bars will not be permitted unless incorporated in the overall design.
- (No steel windows). Aluminium would only be allowed if it resembles wooden sash windows in style and colour.

d. VERANDAHS, PORCHES AND PERGOLAS.

- All houses must have at least one verandah.
- Supports shall be masonry piers, or round concrete columns on a plinth base.
- Painted timber lattice enclosures to verandas will be permitted if in keeping with the overall design.

B. MELROSE



Style is derived from the Colonial Baronial period. It is reminiscent of a period where lavish entertainment was the order of the day on the verandahs around the house. Plastered and painted walls with detailing on gables and above windows form an unique sense of opulence and serenity. Roofs with small overhangs are constructed from corrugated Victorian sheet metal with little color. This in a sense is a gentleman's house in town where his family can reside while he is away on business. Only double storey permitted.

MATERIALS

a. WALLS :

- Plastered and painted brickwork
- Bagged with colored cement based paint. Colour limited to white, cream and yellow.
- Pigmented plaster in natural shades of cream, grey, ochre or white.
- Stone – natural and artificial cladding – use allowed only for plinth level.

b. ROOFS:

- Slate tiles.
- Pre-painted or powder coated “S-rib” corrugated sheet metal roofing material.
- Minimum pitch of 40 degrees. Verandah pitch - 5 degrees for sheet metal roofs (concrete to be used for verandah roofs where slate or thatch is to be used).
- Colour - only grey or black will be allowed.

c. WINDOWS AND DOORS

- Must suit the style of the house. External burglar bars will not be permitted unless incorporated in the overall design.
- Wooden mock-sash - vertical proportions
- Wooden sash - vertical proportions
- Bronze, Grey or Black powder coated aluminium frames to match the colour of the roof - must have vertical proportions - width must be less than the height.
- Betcrete polycrrete door and window frames with aluminium frames, must suit the style of the house and must have vertical proportions as above.

d. VERANDAS, PORCHES AND PERGOLAS.

- Supports shall be timber or metal posts. Support can also be formed with posts fixed to walls. Painted timber lattice enclosures to verandas will be permitted if in keeping with the overall design.
- All houses must have verandahs or a porch.

e. OTHER

- All houses must be double storey.
- At least one balcony (can be Juliette balcony) is compulsory on three elevations.
- Balcony balustrade must be built with bricks and plastered and painted.
- Only gable end walls will be allowed.
- Gable proportions to have at least 2 steps in a vertical direction as per the perspective.

C. TURENNE



Cape vernacular, simple settler “Opstal” architecture with a French Huguenot influence. Window proportions are based on French casements and Venetians. A lack of deliberate symmetry with a wide open verandah with hydrangeas in pots, whitewashed walls, some shutters and tiled roofs.

MATERIALS

- a. WALLS
 - Plastered and painted brickwork
 - Bagged with colored cement based paint.
 - Pigmented plaster in earthy colors.
 - Only Facebrick in a light colour with a satin finish and flush joints will be allowed.
- b. ROOFS:
 - Clay roof tiles with a deep profile.
 - Concrete roof tiles with a deep profile.
 - Roof pitch - minimum 20 degrees and maximum 30 degrees.
 - Only red or orange colour tiles will be allowed.
- c. WINDOWS AND DOORS
 - Must suit the style of the house. External burglar bars will not be permitted unless incorporated in the overall design.
 - Wooden sash windows with vertical proportions. Width must be less than the height.

- Wooden shutters that are the size of the actual windows are compulsory on approximately 75% of windows. (No mock shutters unless the size is the same as the window)
- Betcrete polycrrete door and window frames with aluminium frames, must suit the style of the house and must have vertical proportions as above.
- Aluminium shutters allowed with aluminium windows.

d. VERANDAHS, PORCHES AND PERGOLAS.

- Supports shall be masonry piers, timber or metal posts. Painted timber lattice enclosures to verandas will be permitted if in keeping with the overall design.
- Balustrades to be cross sections, or other ornamental style to suite the style. No glass balustrades will be allowed.

e. OTHER

- Houses can be single or double storey.

D. APIESDORINGDRAAI



Colonial Gothic farmhouse without the trimmings , informal architecture with straight end gables, corrugated iron roofs and attic-type windows. The house has grown with the family fortunes and is not overly distinguished. The style could have a double-storeyd section and must have a back verandah.

MATERIALS

a. WALLS :

- Plastered and painted brickwork
- Bagged with colored cement based paint.
- Pigmented plaster in earthy colors.
- Only Facebrick with a satin finish and flush joints will be allowed.
- Stone – natural and artificial cladding – use allowed in combination with any of the other walling materials allowed.

b. ROOFS:

- Slate tiles.
- Pre-painted or powder coated “S-rib” corrugated sheet metal roofing material.
- The only other corrugated profiles permitted: “Safrinta Saflok 700”; “Craft Lock” or “Widespan”
- Roof pitch - minimum 38 degrees except for verandahs. Sheet metal roofs on verandahs must have a pitch of at least 5 degrees.

- Concrete to be used for verandah roofs where slate is to be used for the main roofs.
- No two roof materials may be combined eg. Tiles and sheet metal.
- Colour can be in uniform tones of red, grey or green.
- Final samples of colour tones to be submitted to the Aesthetics Committee for approval.

c. WINDOWS AND DOORS

- Must suit the style of the house. External burglar bars will not be permitted.
- Wooden sash windows with vertical proportions. Width must be less than the height.
- Wooden shutters is compulsory on the ground floor windows.
- Dormer roof windows are compulsory.
- Betcrete polycrrete door and window frames with aluminium frames, must suit the style of the house and must have vertical proportions as above.
- Aluminium shutters allowed with aluminium windows.

d. VERANDAS, PORCHES AND PERGOLAS.

- Supports shall be masonry piers, timber or metal posts. Painted timber lattice enclosures to verandas will be permitted if in keeping with the overall design.

E. WORTON



Queen Anne revival in a colonial tradition– simple red-brickwork with white trelliswork. Double balconies with delicate trelliswork enclose the main structure to create a gaiety in what might otherwise be a somber character. Only double storey permitted.

MATERIALS

a. WALLS :

- Plastered and painted brickwork - dark colours
- Bagged with colored cement based paint - dark colours
- Pigmented plaster in earthy reddish colors.
- Only red Facebrick with a satin finish and flush joints will be allowed.

b. ROOFS:

- Pre-painted corrugated or powder coated sheet metal roofing material.
- Ogee moulded domes and bay windows with copper finish.
- Roof pitch - minimum 38 degrees except for verandahs. Sheet metal roofs on verandahs must have a pitch of at least 5 degrees.
- Roof colour - grey or white.

c. WINDOWS AND DOORS

- Wood and bronze powder coated aluminium.
- Wooden mock-sash - vertical proportions
- Wooden sash - vertical proportions

- Bronze powder coated aluminium frames - must have vertical proportions - width must be less than the height.
- Must suit the style of the house. External burglar bars will not be permitted.
- Betcrete polycrrete door and window frames with aluminium frames, must suit the style of the house and must have vertical proportions as above.

d. VERANDAS, PORCHES AND PERGOLAS.

- Supports shall be timber or metal posts.
- Painted timber lattice enclosures to verandas will be permitted if in keeping with the overall design.
- Both ground and first floor must have verandahs on at least two sides one of which must face the street.
- Lattice work painted white is compulsory on the street verandah.

2. ORIENTATION OF DWELLINGS.

Typical of these houses when they were built at the turn of the century was that the northern orientation were not important but the street elevation was the “show-off” However today for improved living conditions the living and bedrooms must be as follows:

(the relation of the windows and living areas to sun and wind)

The main windows of the internal living areas and bedrooms and outdoor living areas must be placed (as far as possible) so that the orientation of these areas is to the north. (Between 15 degrees east and 15 degrees west of north).

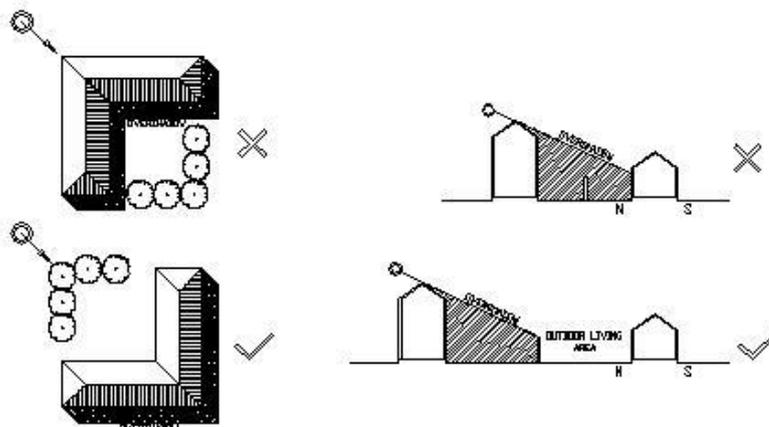
3. VIEW AND PRIVACY

No specific or special views need to be incorporated in the design of the windows and balconies but it is important that the privacy of adjacent properties not be affected negatively by the position of balconies or windows. See item b.

-SECLUSION FOR EACH HOUSE IS NECESSARY.

This can be divided into three groups.

- a. Forced privacy.
 - Provide a screen of either brick walling or vegetation of at least 2,0m high, not only next to swimming pools between units, but also of at least 2,1m at kitchen yard areas. These walls may generally not exceed 10m in length at any one point, but could be relaxed with the sole discretion of the Aesthetics Committee. (see also Clause 5)
- b. Privacy of surrounding properties should be considered.
 - No balconies or windows from a second storey directly on the building lines should overlook the private open space of adjacent houses.
- c. Privacy of outdoor living areas
 - The private outdoor living area should not be close to the street for then it would not be used because it is not private enough.



5. FENCING BETWEEN PROPERTIES AND ON THE STREET

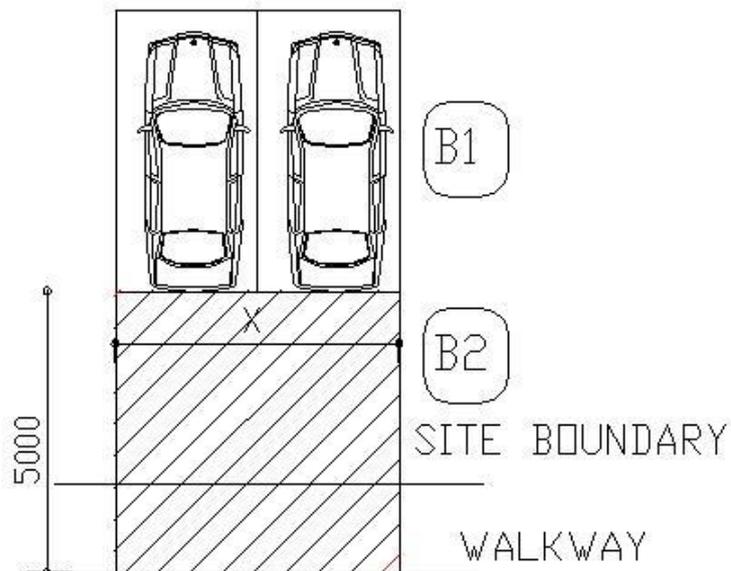
In order to enhance the appearance of sidewalks and the streetscape the following will apply:

- a. Boundary walling in stone, approved facebrick, plaster and painted walls and palisade fencing will be allowed at side and back, but not street boundaries and only at swimming pools or at specific areas where privacy is important. Each property owner is permitted to side boundary walls which may generally not exceed 10m in length, but could be relaxed with the sole discretion of the Aesthetics Committee.
- b. Where it is important to build a wall around swimming pools, etc the wall height may not be more than 1,2m and may exceed 50% of the specific boundary length, but may not extend past the 5,0m street building line. Approved steel palisade fences between brick columns are recommended. No chicken wire or electrical fences allowed.
- c. To prevent a monotonous streetscape and to create a "village" type atmosphere, no boundary walls on the street will be permitted. A wall (maximum 2m) may be used to form a courtyard and forecourt enclosure between building elements and/or side boundary walls. Such walls will have a minimum setback of 2,0m from the street boundary.

6. PARKING

The parking consists of two components

- a. Parking for at least two motor vehicles must be provided next to each other. There are no restrictions on the type of parking provided for e.g. One garage and one carport or one garage and one open parking. NOTE – Any combination of garages, carports and open parking is permissible. Further to the above the following must also be provided.
- b. In front of the two parking areas provided under a), a 5m by the length of the parking area building restriction area must be provided as visitors parking. This 5m is taken from the street and not the site boundary.



7. ORNAMENT

Moderation in this – no exuberance but no paucity. However for the overall character of this development it is compulsory to provide ornamentation such as simple concrete elements, or lattice work, or attention around windows and gable walls.

8. MATERIALS

See each individual style's prescribed materials.

1. Paving materials
 - Concrete cobble paving bricks.
 - Half brick paving.
2. The following materials may not be used.
 - Prefabricated concrete boundary walls.
 - Shade-cloth.
 - Unpainted or reflective metal sheeting.
 - Wire fencing, razor wire or security spikes.
 - Flat metal roofs as a main roof form. (Flat metal roofs on verandahs may not be less than 5% and must be painted.)
 - Concrete imprint paving.

All materials must be fully described on the sketchplans submitted to the HOA and samples might be required.

9. LANDSCAPING.

No trees may be removed except on merit after the evaluation of the sketch plans where the existing trees and sizes must be shown.

On each individual stand a building restriction area (green area) of at least 25% of the site area must be provided.

Landscape guidelines as per the appointed Landscape architect must be followed.

10. SERVICE AREAS.

The following must be screened:-

- Washing lines
- Refuse areas
- Kitchen yard.
- Garden or tool sheds
- Sewerage and ventilation pipes must be concealed in vertical ducts that will not be allowed to stand proud of the external walls. Duct covers must be painted the same as the house.

11. GENERAL

The following General Rules will apply:-

- TV aerials, satellite dishes, air conditioning units and awnings must be placed so as not to have a negative aesthetic influence on the neighboring houses and development.
- Details of the design of parapets, architectural projections, fascias, capping eaves, roof trim, and guttering should be specified for approval.
- Solar heating panels, if used, should be incorporated into the building to form part of the basic structure and should be clearly shown and annotated on the drawings. If installed on the roof, it must blend in with the roof colour. If the panels do not match the roof colour, an alternative position to be provided where the panels would be erected out of sight.
- Outbuildings, garages and all future additions should match the original design, both in proportion, the treatment of elevations and the use of materials.
- Water tanks for storing of rainwater from the roofs of houses are encouraged, and to be in corrugated iron to compliment the traditional styles. The water tanks could be either painted the same colour as the roofs, or be left in its natural state. Any tanks of any other material as above, must be cladded with corrugated iron sheets in such a way that resembles a corrugated iron tank – and either left in its natural state or painted the same colour as the roofs.
- Swimming pool areas must be provided with a self-closing gate if accessible from the street according to the NBR – DD 4. Swimming pool must be at least 1m away from boundary walls.

F. PLAN APPROVAL – DOCUMENTATION AND PROCEDURE.

Aesthetics Committee.

- Approval of plans will be conducted by the Aesthetics Committee.

Estate Architect

The appointed estate architects, who head the Aesthetics Committee, are:

Wynand Claassen Architects
Osborne House
82 Anderson Street
Brooklyn
Pretoria, 0181
Tel. 082 562 9383
Fax. 086 605 6692
E-mail: wynand.claassen@yahoo.com

1. PLAN SUBMISSION.

Only a Professional Architect (Pr. Arch) registered at the South African Council for Architectural Profession (SACAP) may submit drawings to the Estate Architect. Designs by a Senior Architectural Technologist could also be acceptable once a full motivated CV of architectural work and experience has been submitted and satisfied the Aesthetics Committee of their proficiency and experience, as well as proof of Registration. Drawings to be submitted comprising the following:-

- 1.1 Completed application form.
- 1.2 Application fee of R 5 000-00
- 1.3 Site plan
- 1.4 1 Set of final sketch plans comprising
 - a. Layout plans.
 - b. Elevations and sections
 - c. Specific details if applicable.Scales – Site plan 1: 200, Floor plans, Sections and Elevations – 1: 100.
Coloured rendered sketch plans indicating materials, finishes and colours.

2. PLAN RE-SUBMISSION.

The Application Fee covers the initial submission to and assessment by the Estate Architect / Aesthetics Committee as well as a further re-submission in the event of requested amendments. Thereafter, further submissions will attract a fee of R500.00 per assessment.

Once all requested changes to the plans have been made, all documentation required by the Council must be submitted to the

Aesthetics Committee for final approval and stamping prior to being submitted to the Local Authority for approval

The Plans may then be submitted to the Council for approval, upon which one copy of the Council approved plans must be submitted to the Aesthetics Committee for reference purposes.

3. FURTHER CHANGES.

If any further changes are stipulated by the Council, these changes should be brought specifically to the attention of the Aesthetics Committee, in writing, at this time. The committee then reserves the right to adjudicate whether or not these alterations fall within the building guidelines and comment will be issued case by case.

Important Additional Notice:- If alterations to the plans are made during the Building Process, these changes should be submitted immediately to the Estate Architect / Aesthetics Committee for additional approval.

- No building work to proceed further on the amendments before approval is granted and the Aesthetics Committee / Estate Manager has the authority to stop building work.
- Owners to ensure that the Estate Architect / Aesthetics Committee is informed of any changes made.

G. THE BUILDING PROCESS.

1. Deposit & Building permit:-

A deposit of R25 000.00 (twenty five thousand rand) must be paid to the Home Owners' Association with the submission of the plans at the Aesthetics Committee.

This amount will be held in trust (free of interest) by the Home Owners' Association until completion of the buildings and improvements has been achieved. This deposit will be used to remove any rubble or make good any damages caused by the builder, e.g. kerbing, landscaping, services, etc. or in lieu of penalties caused by transgression of these rules or any other rules by the owner or his contractor.

2. Site Inspections:-

An amount of R3.200-00 will be deducted from the Deposit amount above to cover for the inspections done by the Aesthetics Committee Estate Architect) for four inspections during the building process (a. Foundations excavated; b. Window cill height; c. Roof height; d. Final inspection). These inspections are necessary to ensure that all owners build according to the approved plans.

Important Additional Notices:-

- The Estate Architect to be informed timeously of the date of inspections required.

- If an Owner neglects to inform the Estate Architect when inspections are due, as stated above, the Estate Manager has the authority to stop building work.
- A final inspection to be performed by the Estate Architect on completion, issuing an Occupation letter (see Clause H1).

3. Verification of boundary pegs:-

Although the Home Owner would have purchased the property with a full set of surveyed boundary pegs, it is nevertheless the responsibility of the Home Owner to re-verify the peg positions prior to commencement of building.

4. Ablution and Rubbish disposal:-

The contractor shall provide ablution facilities, in terms of local council regulations, as well as facilities for rubbish disposal on site. The said rubbish shall be disposed of weekly and may not be burnt or disposed of within the perimeter of the development.

5. Site cleanliness:-

The site and its surrounds shall be kept neat at all times. Building material and rubble must be stored / dumped within the site boundary and it is the contractor / Home Owner's responsibility to clear the site of said rubble. The same applies to sand and rubble washed or moved over the boundary edge during building operations.

6. Site office and Temporary structures:-

All temporary structures erected on site (builder's sheds, site offices, toilets, etc.) should be of an aesthetically acceptable standard. The HOA reserves the right to request the removal of sub-standard temporary structures.

7. Building boards:-

One SAIA building board may be erected on the site and without obstruction of any view. This board must be removed after completion of construction. No sub-contractor boards may be erected.

8. Damage to property:-

The Home Owner shall be held responsible for any damage to kerbing, meter boxes, roads, lampposts, communal and private property within the development that may occur during and as a result of the Home Owner's building process.

In such an event, the Home Owner will be notified by the HOA of said damage, the repair cost of which will be deducted from the Home Owner's Building Deposit.

9. Building hours:-

The building hours are as follows :

07h00 – 17h00 Weekdays

Saturdays: No formal building work is allowed on

Saturdays other than emergency repairs.

No building is permitted on Sundays and Public Holidays

No contractors staff are permitted on site outside of these hours without special permission.

Any staff on site after building hours will be deemed to be trespassing and will be removed from site by the development's security guards.

Deliveries to and removals from the site should be scheduled during the abovementioned building times only.

10. Permitted vehicles:-

- No articulated vehicles.
- No vehicles exceeding 15 tons

All vehicles must strictly adhere to a speed limit of 30 km/h.

11. Transgression:-

Should the HOA have any reservations with regard the conduct of/or in the event of a regulation transgression by the contractor and/or subcontractors, the HOA will notify the Home Owner verbally or in writing of said transgression and set a time for rectification.

If the issue is not satisfactorily resolved by the end of this time limit, the HOA then reserves the right to withdraw the Home Owner's Building Permit and suspend building operations until such time as such conduct / regulation transgression has been rectified.

12. General:-

It is the responsibility of the Home Owner to distribute the "Building Process" guidelines to his/her building contractor and/or subcontractors.

H. FINAL COMPLETION

1. Occupation Certificate:-

- A final inspection to be performed by the Estate Architect on completion, where after an Occupation letter be issued before the local authority will issue an Occupational Certificate.
- The building deposit will not be returned to the Owner if final "As-Built" drawings have not been submitted and approved.
- It is the Home Owner's responsibility thereafter to arrange an occupation certificate from the Local Authority.